

PLANNING & ZONING MEETING AGENDA
Thursday, February 27, 2025 | 6:00 p.m.
Eldridge City Hall | 305 N 3rd Street

1. Call to Order and Roll Call
2. Approval of the Minutes from the January 16, 2025, Meeting
3. Consideration of approval of the Development Plans for Grunwald Grove 2nd Addition Multifamily
4. Adjournment

Next Meeting: TBD



**Eldridge Planning and Zoning Commission
January 16, 2025, 6:00 p.m., Eldridge City Hall**

Minutes

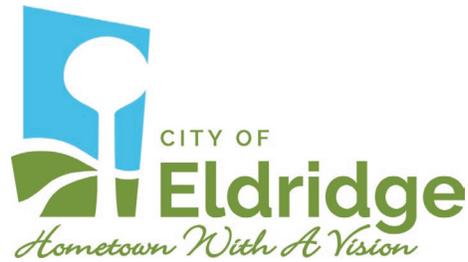
The Eldridge Plan and Zone Commission met in open session in Eldridge City Hall at 6:00 p.m. on December 19, 2024. The meeting was called to order at 6:01 p.m. by Chairman Karl Donaubaauer. Present were Karl Donaubaauer, Dean Ferguson, Brad Merrick and Scott LaPlante. Jennifer Vittorio and Mike Martin were absent. Also present were Jeff Martens, Brian Dockery, Joe Stutting and Chris Townsend.

The minutes from the December 19, 2024, meeting was presented for approval. Donaubaauer corrected the spelling of a name. Motion by Merrick to approve the minutes as amended. Seconded by LaPlante. Motion carried 4-0 by voice vote.

Donaubaauer asked Martens to present the Final Plat for the Lancers Run Subdivision. Martens presented the request and confirmed that it was substantially in accordance with City Code. He stated that they were recommending approval. Merrick asked the owner and engineer a few clarifying questions. LaPlante made a motion to approve the Final Plat as presented. Ferguson seconded the motion. The motion was carried 4-0 by voice vote.

Martens presented the Development Plan for Lancers Run Subdivision for review by the Commission. Martens confirmed that the city staff and City Engineer had done a review. The staff and engineer had a list of few recommended changes they would ask the developer to change. Donaubaauer also had found a copy/paste error and misspelling. Merrick made a motion to approve the Development Plan with the recommended changes. Ferguson seconded. Motion carried 4-0 by voice vote.

Merrick made a motion to adjourn the meeting at 6:32 p.m. Seconded by Ferguson. Motion carried 4-0 by voice vote.



To: Planning and Zoning Commission
From: Jeff Martens, Assistant City Administrator
Re: Grunwald Grove 2nd Addition Multifamily Development Plan
Date: 2/27/25

The Grunwald Land Development has submitted the attached Plan for your consideration.

That City Staff and City Engineer has reviewed the Development Plan and finds it to be substantially in accordance with City Code and recommends approval.

The setback distances around the exterior of the development match or exceed the setback distances of the adjacent development with 25' at the front, 25' on the sides and 30' or more at the rear. You will see that the interior front and rear interior yards are less than required by city code in a R-3 Multiple Family Residential District but are allowed in a Planned Residential Overlay District. As a reminder there is no minimum front and rear setback in a Planned Residential Overlay District except where adjacent to another district.

The interior driveways and storm water infrastructure are all privately owned. Parking space requirements of two spaces per dwelling are met with a two-car attached garage at each dwelling.

Each lot averages 5,000 square feet and the minimum for multifamily in an R-3 Multiple Family District would be 2,500 square feet. There is no minimum lot size in a Planned Residential Overlay District but they are meeting the R-3 requirement in this case.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS AND DETAIL DRAWINGS OF THE CITY OF ELDRIDGE, IOWA.
- ALL EXISTING UTILITIES SHOWN WERE LOCATED PARTIALLY IN THE FIELD AND PARTIALLY FROM REVIEW OF EXISTING PUBLIC RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD LOCATION OF ALL EXISTING UNDERGROUND LINES PRIOR TO ANY CONSTRUCTION IN THESE AREAS. ANY DAMAGE DONE TO UTILITIES DUE TO CONSTRUCTION SHALL BE REPAIRED AT A COST OF THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE PLANS AND SPECIFICATIONS AND THE EXISTING FIELD CONDITIONS.
- SANITARY SEWER WYES ARE LOCATED AS SHOWN BY DIMENSION FROM THE NEAREST DOWNSTREAM MANHOLE. THE LATERALS SHALL BE 6 INCH DIAMETER AND SHALL EXTEND TO THE EASEMENT LINE. THE END OF EACH LATERAL SHALL BE MARKED AS REQUIRED BY THE SPECIFICATIONS.
- ALL WATER SERVICES SHALL BE 1 INCH DIAMETER TYPE K COPPER TUBING WITH A MINIMUM OF 5 FEET OF COVER. SERVICES FOR THE SINGLE FAMILY LOTS SHALL BE INSTALLED AS NEAR TO THE CENTER OF EACH LOT AS POSSIBLE. SERVICES FOR MULTI-FAMILY LOTS SHALL BE AS SHOWN ON THE PLAN SHEET.
- ALL STORM SEWER INLETS THAT RECEIVE DRAINAGE FROM EXPOSED EARTH AREAS SHALL BE PROTECTED FROM INTAKE OF ERODED SOIL WITH COMPOST FILTER SOCK OR OTHER ACCEPTABLE INLET PROTECTION MEASURES. THE INLET PROTECTION SHALL BE MAINTAINED ACCORDING TO THE PROJECT SWPPP.
- THE CONTRACTOR SHALL PREVENT SILT AND DEBRIS FROM ENTERING STORM AND SANITARY SEWERS AND SHALL REMOVE ANY SUCH MATERIAL THAT ENTERS THE SEWERS. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS WORK.
- THE CONTRACTOR SHALL PROVIDE A DEPRESSED CURB AT ALL PROPOSED PEDESTRIAN RAMP LOCATIONS.
- EROSION CONTROL FABRIC SHALL BE A NON-WOVEN GEOTEXTILE SUCH AS MIRAFI 140N OR EQUAL.

SITE NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING THE LOCATION OF ALL PROPOSED IMPROVEMENTS, INCLUDING ROUGH AND FINISHED ELEVATIONS AND ALL OTHER PROPOSED IMPROVEMENTS INDICATED ON THE DRAWINGS. THESE SITE PLANS PROVIDE THE GENERAL SIZE AND LOCATION OF THE PROPOSED BUILDING. REFER TO THE ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR THE ACTUAL BUILDING SIZE AND DIMENSIONS. THE BUILDING SHALL NOT BE CONSTRUCTED FROM THESE SITE PLANS OR DIGITAL FILES THAT ARE EXPORTED FROM THESE PLANS.
- REMOVE ALL STRUCTURES, FOUNDATIONS, WALLS, PAVEMENTS, AND ALL OTHER ITEMS IN CONFLICT WITH PROPOSED IMPROVEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE LOCATION OF EXISTING UTILITIES IN CONSTRUCTION AREAS SHALL BE FIELD VERIFIED BY THE CONTRACTOR BY CONTACTING IOWA ONE CALL AT 1-800-292-8989 OR THE INDIVIDUAL UTILITIES NOT PARTICIPATING IN THE ONE CALL SYSTEM. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED. ANY REPAIR OR RELOCATION REQUIRED, AS A RESULT OF DAMAGE BY CONSTRUCTION ACTIVITIES SHALL BE AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL PAY UTILITY PERMIT AND/OR INSPECTION FEES.
- UTILITY TRENCHES WITHIN PAVEMENT AREAS SHALL BE BACKFILLED WITH APPROVED COMPACTED GRANULAR BACKFILL.
- ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE ADOPTED PLUMBING CODE, CURRENT VERSION.
- ALL ELECTRIC SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, CURRENT VERSION.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH OF 6 INCHES WITHIN ALL PROPOSED BUILDING AND PAVEMENT AREAS AND STOCKPILED ON SITE FOR USE IN LANDSCAPE AREAS (COORDINATE WITH OWNER). IF ACCEPTABLE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE IT TO A DEPTH OF 6 INCHES.
- TOPSOIL SHALL BE LOAMY IN NATURE, FREE FROM HARD CLODS, STIFF CLAY, SOD, STONES, ROOTS, STICKS, AND OTHER DEBRIS OVER 1 INCH IN SIZE. TOPSOIL SHALL BE FREE OF TOXIC MATERIALS AND SHALL HAVE A pH RANGE BETWEEN 5.5 AND 7.0.
- ALL EXCESS MATERIALS NOT USED FOR CONSTRUCTION OF THE PROJECT SHALL BE DISPOSED OFF SITE BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- PROPOSED CONTOURS ARE INTENDED TO PROVIDE A MIN. 1% SLOPE IN PAVEMENT AREAS AND 2% IN TURFED AREAS. CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING A SMOOTH UNIFORM DRAINING SURFACE THAT DOES NOT CREATE PONDING WATER OR SHARP BREAKS. CONTOURS OR ELEVATIONS THAT WILL NOT PROVIDE SUCH SURFACE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IMMEDIATELY. IF THERE IS A CONFLICT BETWEEN SPOT ELEVATIONS AND CONTOURS, THE CONTOURS SHALL GOVERN.
- ADJUST ALL EXISTING AND REMAINING UTILITY FRAMES, GRATES, AND COVERS TO PROPOSED GRADES AND ELEVATIONS.
- EROSION CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, THE DETAILS IN THESE PLANS, AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (CURRENT EDITION).
- THE EROSION CONTROL SHOWN ON THIS SET OF PLANS SHALL BE CONSIDERED THE MINIMUM ACCEPTABLE FOR THIS PROJECT. THERE MAY BE ADDITIONAL EROSION CONTROL REQUIRED DUE TO THE VARIOUS CONSTRUCTION TECHNIQUES, WHICH MAY BE USED. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AND MAINTAINING ALL THE RUNOFF FROM THE SITE, IN A MANNER WHICH KEEPS ALL SILT ON SITE.
- AN EXISTING N.P.D.E.S PERMIT IS IN PLACE FOR GRUNWALD GROVE. THE CONSTRUCTION OF A PROPOSED MULTI-FAMILY DEVELOPMENT CONSTRUCTION WAS INCLUDED AS A PART OF THAT PERMIT. NO ADDITIONAL N.P.D.E.S PERMIT IS ANTICIPATED FOR THIS PROJECT.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF BUILDING, OR PROPERTY LINES UNLESS OTHERWISE NOTED. ALL RADII ARE TO FACE OF CURB.
- GRASS, CONCRETE, PAVEMENT, OR MULCH. THE CONTRACTOR SHALL COORDINATE SUBGRADE ELEVATIONS TO ALLOW FOR PAVEMENT, CONCRETE OR MULCH DEPTHS.
- ALL DISTURBED AREAS NOT WITHIN PAVEMENT & LANDSCAPE AREAS SHALL BE SEEDDED PER THE SPECIFICATIONS. THE AREAS INDICATED TO BE SEEDDED ON THIS PLAN ARE ESTIMATED DISTURBED AREAS. DISTURBED AREAS OUTSIDE OF THOSE INDICATED SHALL BE SEEDDED REGARDLESS OF THE LIMITS INDICATED.

UTILITY NOTES

- THE LOCATION OF EXISTING UTILITIES IN CONSTRUCTION AREAS SHALL BE FIELD VERIFIED BY THE CONTRACTOR BY CONTACTING THE IOWA ONE CALL SYSTEM, INC. OR THE INDIVIDUAL UTILITIES NOT PARTICIPATING IN THIS SYSTEM. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED. ANY REPAIR OR RELOCATION REQUIRED, AS A RESULT OF DAMAGE BY CONSTRUCTION ACTIVITIES SHALL BE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PAY UTILITY PERMIT AND/OR INSPECTION FEES.
- UTILITY TRENCHES WITHIN PAVEMENT AREAS SHALL BE BACKFILLED WITH APPROVED COMPACTED GRANULAR BACKFILL PER SUDAS.
- ALL ELECTRIC SHALL BE IN ACCORDANCE WITH THE 2005-NATIONAL ELECTRIC CODE (INTERNATIONAL ELECTRICAL CODE SERIES), 2005-INTERNATIONAL CODE COUNCIL ELECTRICAL CODE, (ADMINISTRATIVE PROVISIONS)
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- THE DRAWINGS INDICATE THE BEST KNOWLEDGE OF THE OWNER AND ENGINEER/ARCHITECT ON THE GENERAL LOCATION AND NATURE OF THE EXISTING AND OR PROPOSED UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION. EXPLORATORY EXCAVATIONS AT THE SITE TO DETERMINE INSITU LOCATIONS WERE NOT CONDUCTED. QUALITY LEVEL C IN ACCORDANCE WITH CI/ASCE 38-02, STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, WAS UTILIZED. REGARDLESS OF THE LEVEL OF INVESTIGATION, THE UTILITIES SHOWN SHOULD NOT BE CONSIDERED A WARRANTY OR GUARANTEE OF ACTUAL PRESENCE OR LOCATION AND THE CONTRACTOR REMAINS RESPONSIBLE FOR THE LOCATION, VERIFICATION, AND PROPER NOTIFICATION OF POTENTIAL UTILITIES

QUALITY LEVELS:

QUALITY LEVEL A - PROVIDES THE HIGHEST LEVEL OF ACCURACY. BY LOCATING OR POTHOLING UTILITIES IN ADDITION TO QUALITY LEVELS B, C, AND D TASKS. THE LOCATED UTILITY INFRASTRUCTURE IS SURVEYED AND MAPPED TO DEVELOP PLAN AND PROFILE INFORMATION.

QUALITY LEVEL B - INVOLVES DESIGNATING THE HORIZONTAL POSITION OF SUBSURFACE UTILITIES THROUGH SURFACE DETECTION METHODS AND RECORDING THE INFORMATION THROUGH A SURVEY METHOD. IN ADDITION TO QUALITY LEVEL C AND D TASKS.

QUALITY LEVEL C - INVOLVES SURVEYING VISIBLE SUBSURFACE UTILITY STRUCTURES SUCH AS MANHOLES, HAND-HOLES, UTILITY VALVES AND METERS, FIRE HYDRANTS, PEDESTALS AND UTILITY MARKERS, AND THEN CORRELATING THE INFORMATION WITH EXISTING UTILITY RECORDS TO CREATE COMPOSITE DRAWINGS. IN ADDITION TO QUALITY LEVEL D TASKS.

QUALITY LEVEL D - INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS, THAT MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICE MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASE, CONSTRUCTION PLANS, ETC. DATABASES, CONSTRUCTION PLANS, ETC.

EROSION CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EXAMINED BY THE CONTRACTOR EACH WEEK AND AFTER EACH RAINFALL. EACH MEASURE SHALL BE MAINTAINED OR IF NEEDED, REPLACED, SO IT WILL FUNCTION AS ORIGINALLY DESIGNED.
- ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED (WHERE POSSIBLE) PRIOR TO THE COMMENCEMENT OF ANY EARTH DISTURBING OPERATIONS. THE REMAINING CONTROL MEASURES SHALL BE INSTALLED AS SOON AS REASONABLY POSSIBLE AFTER GRADING OPERATIONS BEGIN. WHERE THE PRESENCE OF SILT FENCE OR OTHER CONTROLS WILL INTERFERE WITH ACTIVITIES, DIVERSION DITCHES AND SMALL TEMPORARY SEDIMENT TRAPS SHALL BE UTILIZED UNTIL SILT FENCE OR OTHER MEASURE MAY BE INSTALLED AND SEEDING COMPLETED.
- DIVERSION DITCHES, BERMS, SILT FENCE, AND OTHER SEDIMENT CONTROL MEASURES ARE RECOMMENDED AND ALLOWED TO BE USED INTERCHANGEABLY OR IN COMBINATION WITH EACH OTHER DEPENDING ON FUNCTIONALITY, CONTRACTOR PREFERENCE, SITE CONDITIONS, CONSTRUCTION PHASING AND OTHER PROJECT CONSTRAINTS.
- AT THE CONCLUSION OF THE GRADING OPERATIONS, THE ENTIRE SITE THAT WAS DISTURBED SHALL BE PERMANENTLY SEEDDED WITH A MIXTURE THAT IS COMPATIBLE WITH THE APPLICATION AND DATE. PERMANENT SEED MIX AND FERTILIZER RATE SHALL BE ACCORDING TO SUDAS SPECIFICATION SECTION 9010 UNLESS OTHERWISE SPECIFIED BY THE OWNER. SEEDING IS AN EROSION CONTROL MEASURE AND SHALL BE MAINTAINED AS SPECIFIED ABOVE.
- IN LIEU OF SEEDING, FERTILIZING AND MULCHING. THE CONTRACTOR HAS THE OPTION TO HYDRAULIC OR PNEUMATIC SEED THE DISTURBED AREAS. THE EMULSION MIX AND APPLICATION RATE MUST BE SUBMITTED FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- EROSION CONTROL MATTING SHALL CONTAIN WOOD FIBER AND HAVE A PHOTODEGRADABLE NETTING ON BOTH SIDES. ON SLOPES HIGHER THAN 10 FEET OR STEEPER THAN 3 TO 1, MATTING SHALL BE WOOD EXCELCLIOR. MATTING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ACCEPTABLE PRODUCT - FUTERRA ENVIRONET BY PROFILE PRODUCTS.
- FOR ALL DISTURBED AREAS WITHIN EXISTING CITY RIGHT OF WAY, HYDROMULCH SHALL BE APPLIED IN ACCORDANCE WITH CURRENT CITY SPECIFICATIONS.
- SOIL STABILIZATION: STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. IN DROUGHT-STRICKEN AREAS AND AREAS THAT HAVE RECENTLY RECEIVED SUCH HIGH AMOUNTS OF RAIN THAT SEEDING WITH FIELD EQUIPMENT IS IMPOSSIBLE AND INITIATING VEGETATIVE STABILIZATION IMMEDIATELY IS INFEASIBLE. ALTERNATIVE STABILIZATION MEASURES MUST BE EMPLOYED AS SPECIFIED BY THE DEPARTMENT. IN LIMITED CIRCUMSTANCES, STABILIZATION MAY NOT BE REQUIRED IF THE INTENDED FUNCTION OF A SPECIFIC AREA OF THE SITE NECESSITATES THAT IT REMAIN DISTURBED.
- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED FOR THIS PROJECT AND ADDRESSES THE REQUIREMENTS OF GOOD ENGINEERING PRACTICE AND OF PART IV OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT NO.2. A COPY OF THIS SWPPP MUST BE RETAINED ON THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION. THE RETAINED COPY MUST BE AMENDED, REVISED AND UPDATED AS NEEDED THROUGHOUT THE PROJECT'S PROGRESSION. ALL PROVISIONS, AMENDMENTS, REVISIONS AND UPDATES OF THE SWPPP MUST BE IMPLEMENTED BY THE FACILITY AS A CONDITION OF THE GENERAL PERMIT.
- EROSION AND SEDIMENT CONTROLS: UNLESS INFEASIBLE, THE FOLLOWING MEASURES SHALL BE IMPLEMENTED AT ALL SITES: UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS AND DIRECT STORM WATER TO VEGETATED AREAS TO BOTH INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION. THE PERMITTEE(S) SHALL MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL. "INFEASIBLE" SHALL MEAN NOT TECHNOLOGICALLY POSSIBLE, OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. "UNLESS INFEASIBLE, PRESERVE TOPSOIL" SHALL MEAN THAT, UNLESS INFEASIBLE, TOPSOIL FROM ANY AREAS OF THE SITE WHERE THE SURFACE OF THE GROUND FOR THE PERMITTED CONSTRUCTION ACTIVITIES IS DISTURBED SHALL REMAIN WITHIN THE AREA COVERED BY THE APPLICABLE GENERAL PERMIT NO. 2 AUTHORIZATION. MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE INTENDED FUNCTION OF A SPECIFIC AREA OF THE SITE DICTATES THAT IT BE COMPACTED. PRESERVING TOPSOIL IS NOT REQUIRED WHERE THE INTENDED FUNCTION OF A SPECIFIC AREA OF THE SITE DICTATES THAT THE TOPSOIL BE DISTURBED OR REMOVED. THE PERMITTEE(S) SHALL CONTROL STORM WATER VOLUME AND VELOCITY TO MINIMIZE SOIL EROSION IN ORDER TO MINIMIZE POLLUTANT DISCHARGES AND SHALL CONTROL STORM WATER DISCHARGES, INCLUDING BOTH PEAK FLOWRATES AND TOTAL STORM WATER VOLUME, TO MINIMIZE CHANNEL AND STREAM BANK EROSION AND SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS. AN AFFIDAVIT SIGNED BY THE PERMITTEE(S) MAY BE SUBMITTED TO DEMONSTRATE COMPLIANCE.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		LOT LINE
		RIGHT OF WAY LINE
		CENTERLINE
		EASEMENT
		BUILDING SETBACK
		CONSTRUCTION LIMITS
		FENCE LINE
		CHAIN LINK FENCE
		FENCE W/ SQUARE POSTS
		STREAM
		STRUCTURE
		PAVEMENT MARKINGS
		EDGE OF PAVEMENT
		CURB AND GUTTER
		RAILROAD TRACKS
		WATER LINE
		FIRE PROTECTION
		GAS LINE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		OVERHEAD TELEPHONE
		UNDERGROUND TELEPHONE
		CABLE TELEVISION
		FIBER OPTIC
		COMMUNICATION LINE
		STORM SEWER
		SANITARY SEWER
		FORCE MAIN
		COMBINED SEWER
		IRRIGATION SYSTEM
		MAST ARM SIGNAL (3 SIGNALS)
		MAST ARM SIGNALS (2 SIGNALS)
		UTILITY TRAFFIC SIGN
		SIGN
		MANHOLE
		STORM WATER INLET
		CATCH BASIN
		CLEANOUT
		CULVERT
		BOX CULVERT
		WATER VALVE
		FIRE HYDRANT
		POST INDICATOR VALVE
		WATER METER
		GAS VALVE
		GAS METER
		TELEPHONE PEDESTAL
		CABLE TV PEDESTAL
		ELECTRIC METER
		UTILITY POLE
		LIGHT STANDARD
		LIGHT POLE
		GUY WIRE
		SUMMIT / HIGH POINT
		CONTOURS
		INDEX CONTOURS
		DIRECTION OF DRAINAGE
		SPOT ELEVATION
		DECIDUOUS SHRUB
		DECIDUOUS TREE
		CONIFEROUS SHRUB
		CONIFEROUS TREE

REVISION HISTORY	MARK	DESCRIPTION	DATE	APPR
○		REBAR SET		
●		REBAR FOUND		
■		REBAR "SQUARE"		
▲		STONE		
⊙		IRON PIPE		
⊕		CHISELED PLUS		
✕		SPIKE		
⊠		RIGHT OF WAY MARKER		
○		RAILROAD SPIKE		
△		AXLE		
■		CONCRETE MONUMENT		
●		MAG NAIL		
△		SURVEY CONTROL POINT		
AC		A/C UNIT		
●		AREA DRAIN		
EJB		ELECTRIC JUNCTION BOX		
TRANS		TRANSFORMER		
MB		MAILBOX		
MW		MONITORING WELL		
S		SPRINKLER		
VP		VENT PIPE		
WP		WARNING POST		



NOTE
UTILITY INFORMATION IS FOR THE CONVENIENCE OF THE CONTRACTOR. BEFORE CONSTRUCTION BEGINS THE CONTRACTOR SHALL CONTACT IOWA ONE CALL AT 1-800-292-8989 AND INDIVIDUAL UTILITY COMPANIES NOT INCLUDED IN THIS SYSTEM, FOR THE PRESENCE AND LOCATION OF UTILITIES.

ABBREVIATIONS

FL	FLOWLINE ELEVATION
TC	TOP OF CURB ELEVATION
GL	GUTTER LINE ELEVATION
TG	TOP OF GRATE ELEVATION
STA	STATION
FES	FLARED END SECTION
SWI	STORM WATER INLET
FFE	FINISH FLOOR ELEVATION
HP	HIGH POINT
LP	LOW POINT
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION
DS	DOWNSPOUT

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MARK	DESCRIPTION	DATE	APPR

ISSUED FOR 02/14/2025

CITY REVIEW

PRELIMINARY NOT FOR CONSTRUCTION

GRUNWALD MULTI-FAMILY DEVELOPMENT
GRUNWALD DEVELOPMENT L.C.
409 SOUTH SHULTZ DRIVE
LONG GROVE, IOWA 52756

Non-Reduced Sheet Size: 22" x 34"
Full sized plans have been prepared using standard scales.
Reduced size plans may not conform to standard scales.

DESIGNED	DRAWN
DDR	DDR
FIELD DAM/ASR	FIELD BOOK
CHECKED CSW	CHECK DATE
	02/14/2025

SHEET TITLE

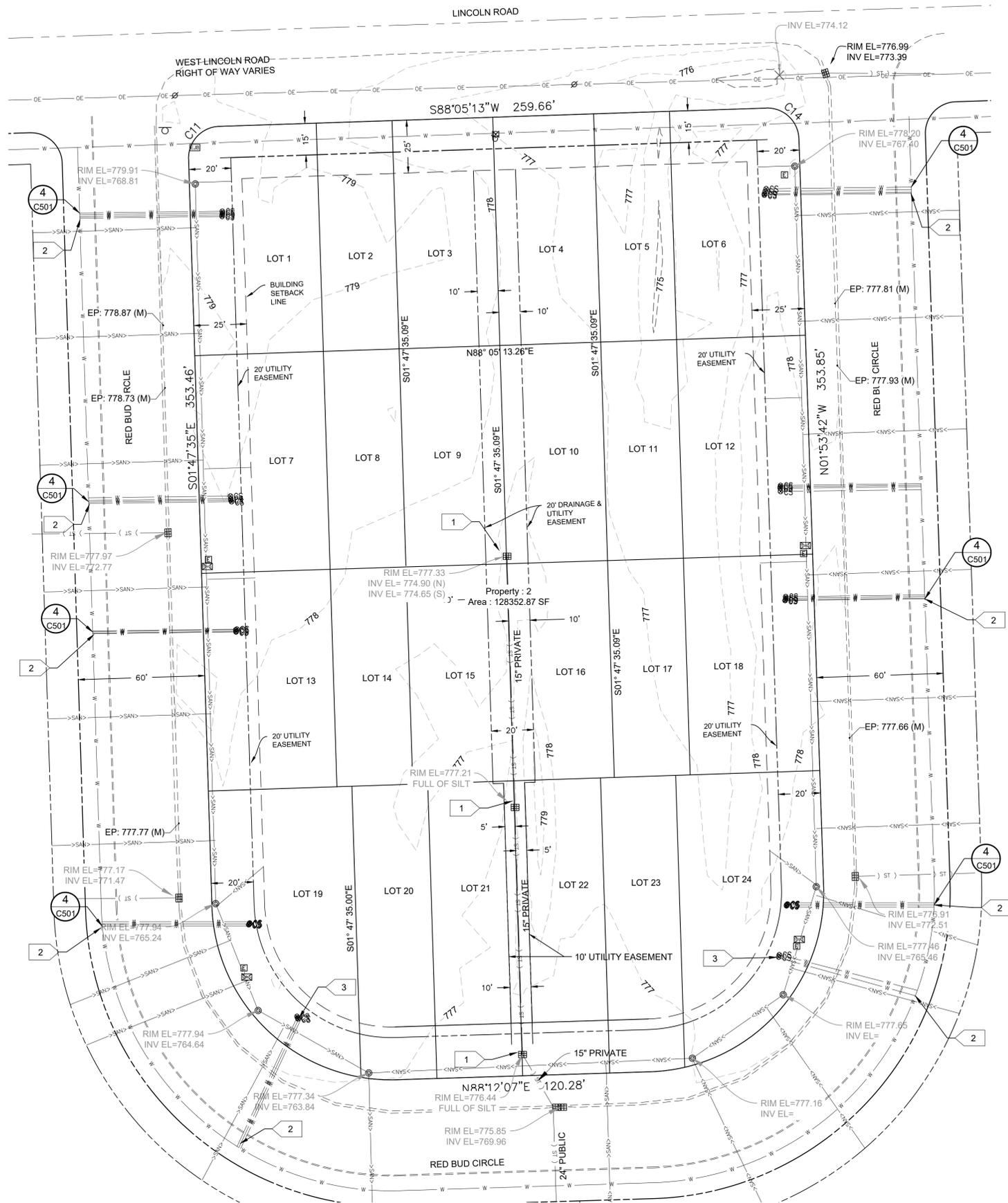
GENERAL NOTES & LEGEND

PROJECT NO. 21-6118

DRAWING ISSUED DATE: 02/14/2025

SHEET

G001



DEMO LEGEND



DEMO KEY NOTES

- 1 REMOVE SILT FROM STRUCTURE AND STORM SEWER PIPE
- 2 REMOVE UNUSED WATER SERVICES. SERVICES TO BE CUT OUT AND THE MAIN SLEEVED UNDER GUIDANCE FROM THE ELDRIDGE WATER UTILITY
- 3 REMOVE CURB STOPS AND BOXES. SALVAGE TO THE ELDRIDGE WATER UTILITY

DEMO NOTES

1. REMOVE ALL EXISTING PAVEMENTS, STRUCTURES, CURBS, LANDSCAPING AND ALL OTHER EXISTING SITE FEATURES IN CONFLICT WITH PROPOSED IMPROVEMENTS UNLESS CALLED OUT FOR PRESERVATION ON THIS SHEET.
2. UTILITY LOCATIONS INDICATED ON THIS SHEET ARE APPROXIMATIONS AND ARE NOT INTENDED TO SERVE IN LIEU OF LOCATES PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. COORDINATE UTILITY REMOVALS AND/OR RELOCATIONS WITH THE RESPECTIVE UTILITY COMPANIES AND THE OWNER.
4. DEMOLITIONS SHALL INCLUDE REMOVAL AND PROPER DISPOSAL OF MATERIALS. CONTRACTOR TO PAY ALL PERMIT AND DISPOSAL FEES.

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REVISION HISTORY			
MARK	DESCRIPTION	DATE	APPR

ISSUED FOR: 02/14/2025
 CITY REVIEW

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

**GRUNWALD
 MULTI-FAMILY DEVELOPMENT
 GRUNWALD DEVELOPMENT L.C.
 409 SOUTH SHULTZ DRIVE
 LONG GROVE, IOWA 52756**

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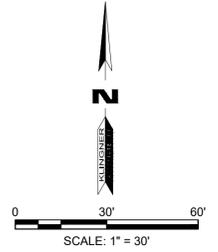
DESIGNED DDR	DRAWN DDR
FIELD DAM/ASR	FIELD BOOK TK/14-15
CHECKED CSW	CHECK DATE 02/14/2025

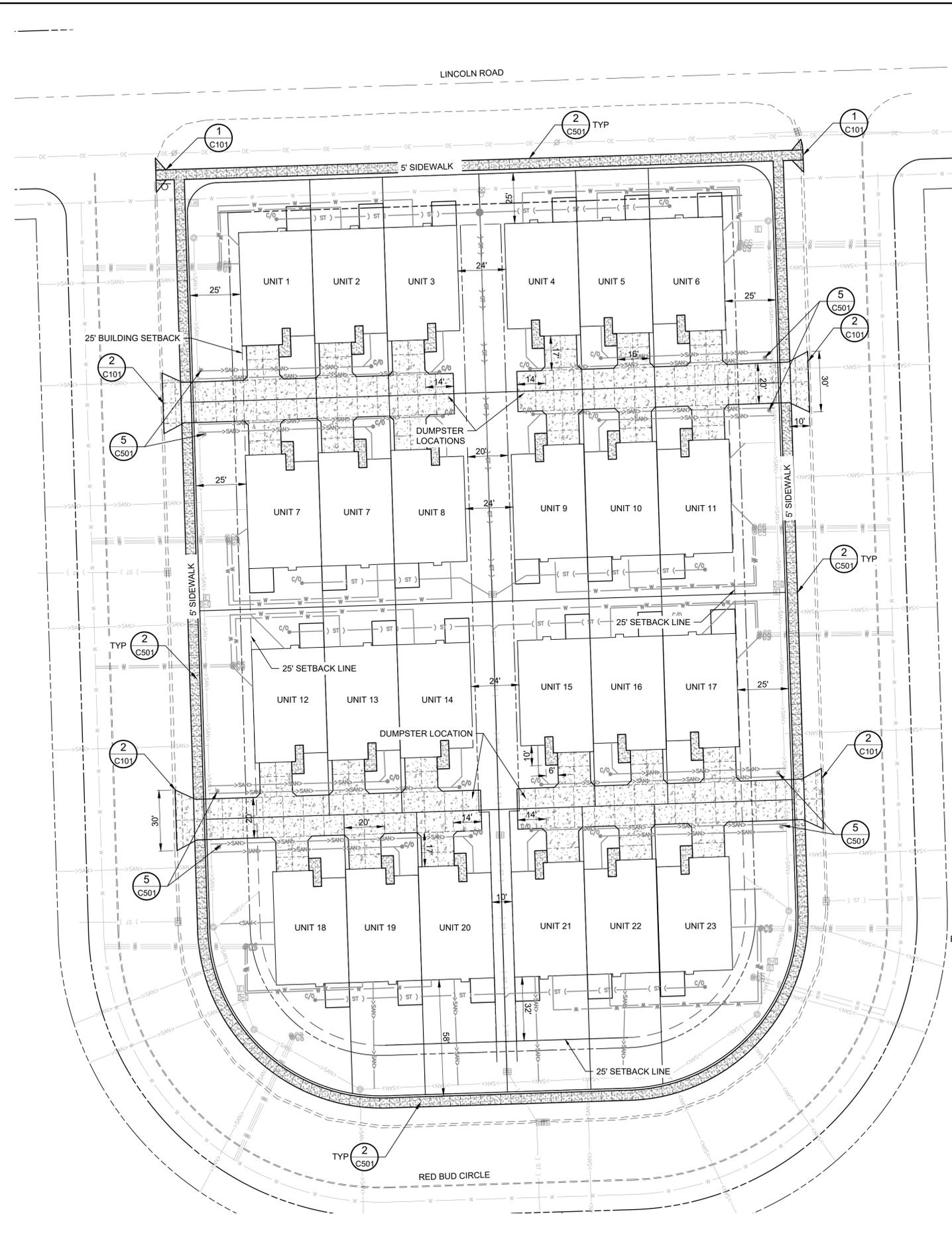
SHEET TITLE
**EXISTING
 CONDITIONS & SITE
 DEMOLITION PLAN**

PROJECT NO.
21-6118
 DRAWING ISSUED DATE:
02/14/2025
 SHEET

CD101

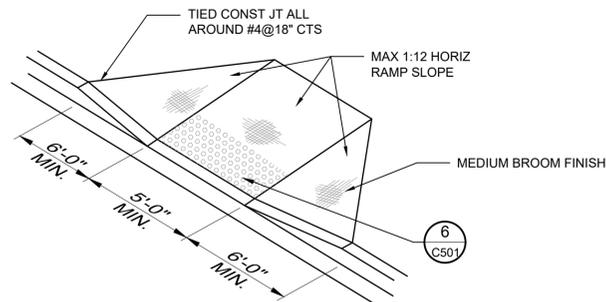
- BENCHMARKS:**
1. "A" IN U.S.A. ON FIRE HYDRANT EAST SIDE OF REDBUD CIRCLE AT LOTS 17&18
 2. "A" IN U.S.A. ON FIRE HYDRANT SOUTHEAST CORNER OF WEST LINCOLN ROAD & REDBUD CIRCLE
 3. "A" IN U.S.A. ON FIRE HYDRANT, 1ST HYDRANT EAST OF REDBUD CIRCLE SOUTH SIDE OF WEST LINCOLN ROAD
 4. "A" IN U.S.A. ON FIRE HYDRANT, SOUTH SIDE OF REDBUD CIRCLE AT LOTS 11 & 12
 5. "A" IN U.S.A. ON FIRE HYDRANT SOUTHEAST CORNER OF WEST LINCOLN ROAD & SOUTH 5TH STREET
 6. "A" IN U.S.A. ON FIRE HYDRANT EAST SIDE OF SOUTH 5TH STREET IN FRONT IF HOUSE #1801
 7. "A" IN U.S.A. ON FIRE HYDRANT NORTHEAST CORNER OF LINDEN LANE & SOUTH 5TH STREET



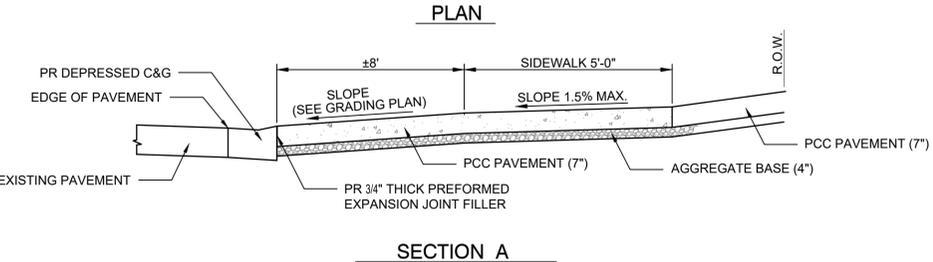
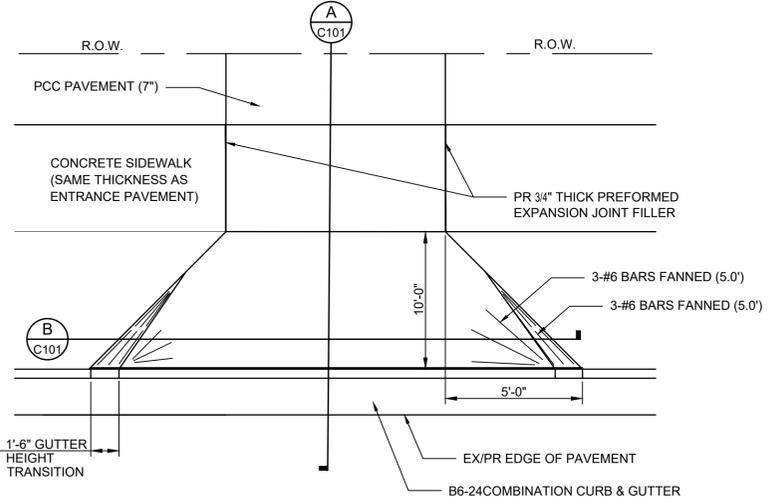


PAVEMENT JOINT LEGEND
 --- EJ - EXPANSION JOINT (DETAIL 1/C502)
 - - - TJ - TIED JOINT (DETAIL 1/C502)
 - - - SJ - SAWED JOINT (DETAIL 1/C502)

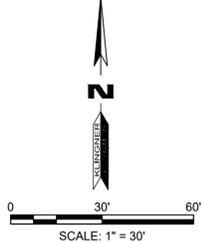
PAVEMENT HATCH LEGEND
 [Hatched Box] 5" CONCRETE SIDEWALK (DETAIL 2/C501)
 [Dotted Box] 6.5" CONCRETE PAVEMENT (DETAIL 1/C501)



1 CURB RAMP DETAILS
N.T.S.



2 ENTRANCE DETAIL
N.T.S.



- BENCHMARKS:**
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REVISION HISTORY

MARK	DESCRIPTION	DATE	APPR
	ISSUED FOR	02/14/2025	
	CITY REVIEW		

PRELIMINARY NOT FOR CONSTRUCTION

GRUNWALD MULTI-FAMILY DEVELOPMENT
GRUNWALD DEVELOPMENT L.C.
409 SOUTH SHULTZ DRIVE
LONG GROVE, IOWA 52756

Non-Reduced Sheet Size: 22" x 34"
 Full sized plans have been prepared using standard scales. Reduced size plans may not conform to standard scales.

DESIGNED	DRAWN
DDR	DDR
FIELD BOOK	FIELD BOOK
DAM/ASR	17K14-15
CHECKED	CHECK DATE
CSW	02/14/2025

SHEET TITLE
SITE PLAN

PROJECT NO.
 21-6118

DRAWING ISSUED DATE:
 02/14/2025

SHEET
C101

LEGEND

EXISTING	PROPOSED	
		SUMMIT / HIGH POINT
		CONTOURS
		INDEX CONTOURS
		DIRECTION OF DRAINAGE
		SPOT ELEVATION
		EROSION CONTROL BARRIER (DETAILS 1/C201)
		ROCK DITCH LINER

GRADING NOTES

- 1) THE SITE SHALL BE PREPARED BY STRIPPING ALL VEGETATION, ROOTS AND ORGANIC MATERIAL FROM THE AREAS TO BE GRADED. STRIPPINGS SHALL BE STOCKPILED ON OR ADJACENT TO THE WORK SITE. STOCKPILES AND LANDSCAPING BERMS SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER PLACEMENT AND SURROUNDED BY SILT FENCE OR OTHER SEDIMENT CONTAINMENT MEASURE. STRIPPINGS SHALL BE RESPREAD ON THE GRADED AREAS TO A MINIMUM THICKNESS OF 4 INCHES AS REQUIRED BY THE NPDES PERMIT. TOPSOIL MAY BE RESPREAD AT ANYTIME DURING THE DEVELOPMENT PROCESS TO SERVE AS A SOIL STABILIZATION MEASURE.
- 2) ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE LOCATED PARTIALLY IN THE FIELD AND PARTIALLY FROM REVIEW OF EXISTING PUBLIC RECORDS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT EACH UTILITY COMPANY FOR THE FIELD LOCATION OF THEIR EXISTING LINES IN OR NEARBY THE CONSTRUCTION AREA PRIOR TO BEGINNING ANY CONSTRUCTION.
- 3) ANY TREES, BRUSH, STUMPS AND FENCING MATERIALS REMOVED IN THE CLEARING OPERATIONS MAY BE BURNED (WHERE LEGALLY POSSIBLE) AND THE REMAINDER SHALL BE DISPOSED OF IN THE PROPER MANNER AT AN APPROVED OFFSITE LOCATION.
- 4) THE CONTRACTOR SHALL EXERCISE PROPER CAUTION TO PROTECT THE EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE.
- 5) THE CONTRACTOR SHALL BE AWARE THAT FIELD DRAINAGE TILE MAY EXIST IN THE AREA AND THAT EXTREME CARE SHALL BE TAKEN TO PREVENT ANY DAMAGE TO THESE SYSTEMS. ANY TILE ENCOUNTERED SHALL BE LOCATED AND A COPY PROVIDED TO THE ENGINEER. ANY DAMAGE DONE TO TILE SHALL BE REPAIRED.
- 6) PRIOR TO PLACEMENT OF ANY FILL, THE STRIPPED SITE SHALL BE SCARIFIED TO A DEPTH OF 9 INCHES AND RE-COMPACTED TO DENSITIES SPECIFIED BELOW. ANY UNSUITABLE SOILS FOUND AT THIS TIME SHALL BE DRIED AND RECOMPACTED OR REMOVED IF REQUIRED COMPACTION CANNOT BE OBTAINED.
- 7) ALL FILL MATERIAL SHALL CONSIST OF APPROVED, SUITABLE SOILS PLACED IN LOOSE LIFTS OF 9 INCHES OR LESS AND COMPACTED TO AT LEAST 95% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY. THE COMPACTION WILL BE FIELD TESTED BY A SOILS ENGINEERING CONSULTANT REPRESENTING THE OWNER.
- 8) SUBGRADES IN CUT AREAS AND IN AREAS RECEIVING LESS THAN 9 INCHES OF NEW FILL SHALL ALSO BE SCARIFIED TO A DEPTH OF ABOUT 9 INCHES, ADJUSTED IN MOISTURE CONTENT AS NEEDED AND RECOMPACTED TO AT LEAST 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
- 9) THE CONTRACTOR SHALL SAVE AND PROTECT ALL EXISTING TREES AND MATURE VEGETATION EXCEPT THOSE WHICH FALL WITHIN THE STREET RIGHT-OF-WAYS OR GRADING EMBANKMENTS.
- 10) ENGINEERING FABRIC FOR RIP RAP AND EROSION STONE PROTECTION SHALL BE A NON-WOVEN MATERIAL SUCH AS MIRAFI 160N OR EQUAL.

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CITY REVIEW

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

**GRUNWALD
 MULTI-FAMILY DEVELOPMENT
 GRUNWALD DEVELOPMENT L.C.
 409 SOUTH SHULTZ DRIVE
 LONG GROVE, IOWA 52756**

Non-Reduced Sheet Size: 22" x 34"
Full sized plans have been prepared using standard scales. Reduced size plans may not conform to standard scales.

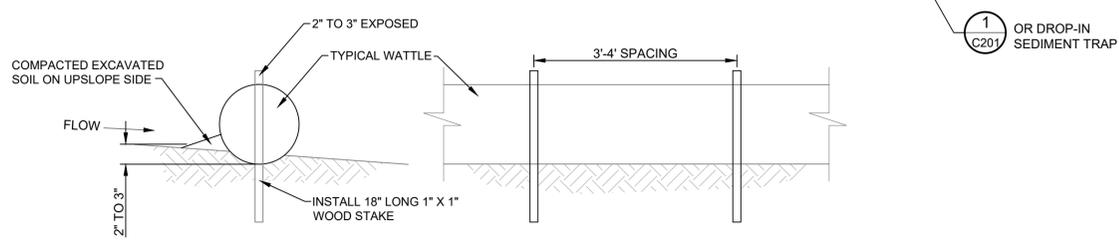
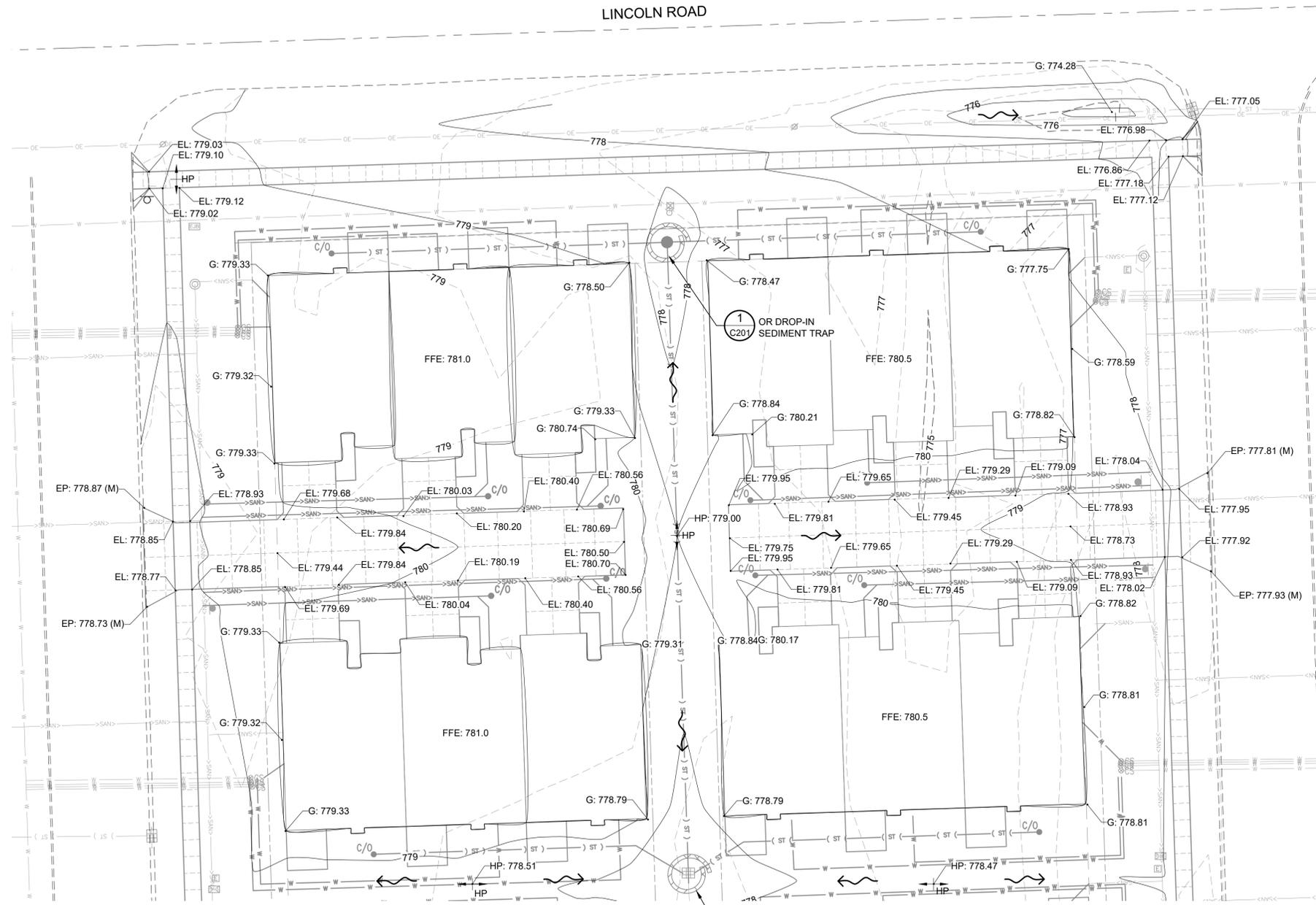
DESIGNED DDR	DRAWN DDR
FIELD DAMI/ASR	FIELD BOOK 17K14-15
CHECKED CSW	CHECK DATE 02/14/2025

SHEET TITLE
**NORTH SITE
 GRADING PLAN**

PROJECT NO.
21-6118

DRAWING ISSUED DATE:
02/14/2025

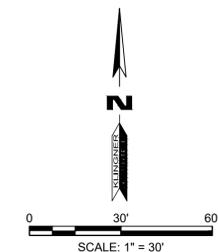
SHEET
C201

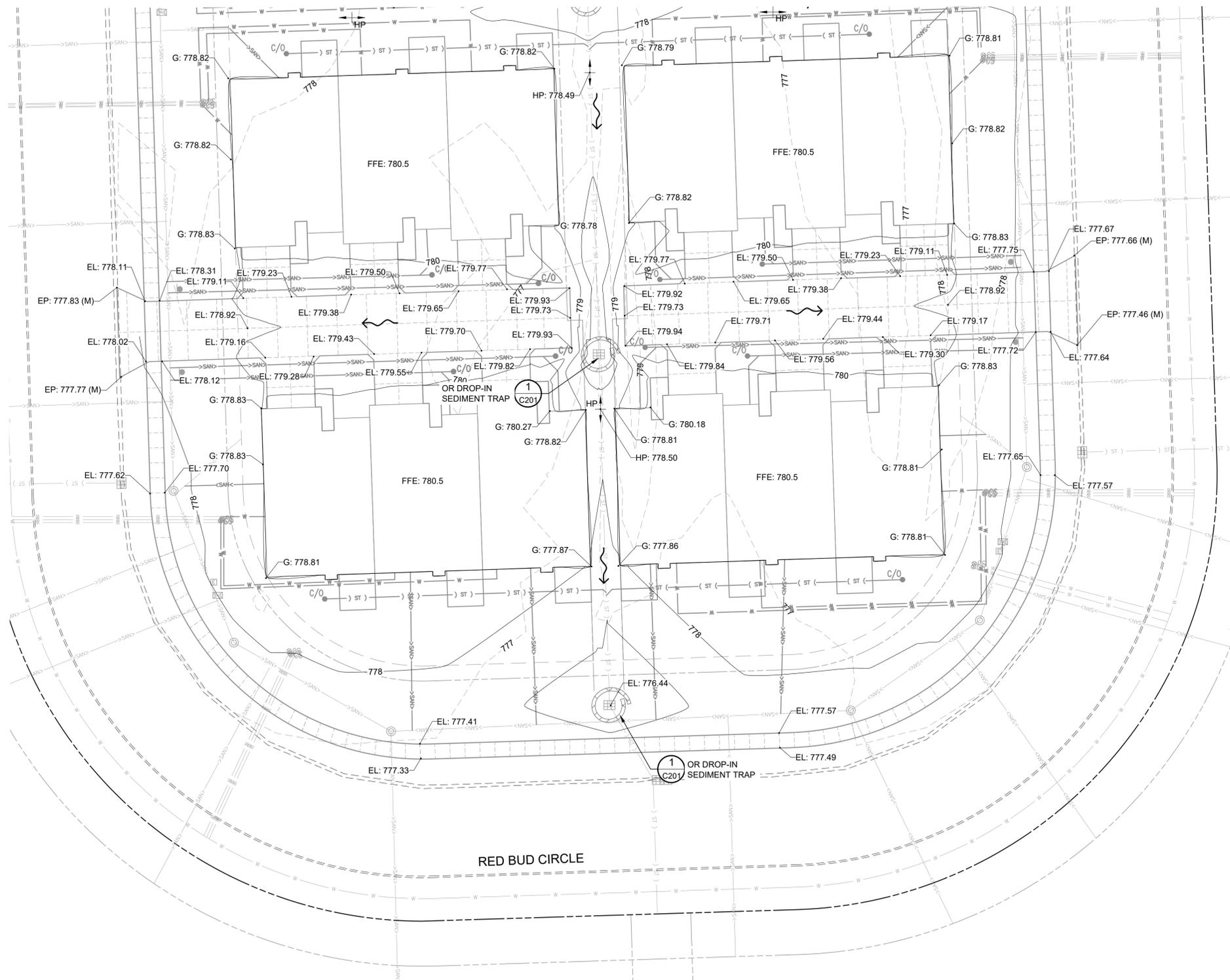


1 EROSION CONTROL WATTLE CHECK
 N.T.S.

BENCHMARKS:

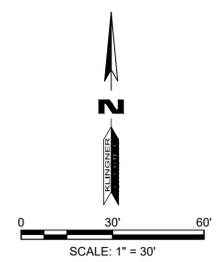
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7. "A" IN U.S.A. ON FIRE HYDRANT NORTHEAST CORNER OF LINDEN LANE & SOUTH 5TH STREET





LEGEND

<p>EXISTING</p> <p>--- 601 ---</p> <p>--- 600 ---</p> <p>~+600.00~</p>	<p>PROPOSED</p> <p>--- 601 ---</p> <p>--- 600 ---</p> <p>~>~</p> <p>▨</p> <p>▨</p>	<p>SUMMIT / HIGH POINT</p> <p>CONTOURS</p> <p>INDEX CONTOURS</p> <p>DIRECTION OF DRAINAGE</p> <p>SPOT ELEVATION</p> <p>EROSION CONTROL BARRIER (DETAILS 1/C201)</p> <p>ROCK DITCH LINER</p>
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- BENCHMARKS:**
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ISSUED FOR: 02/14/2025

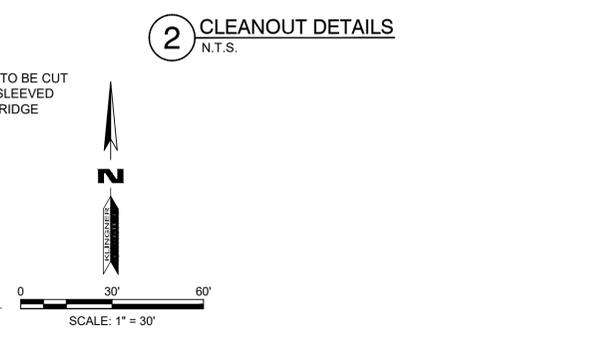
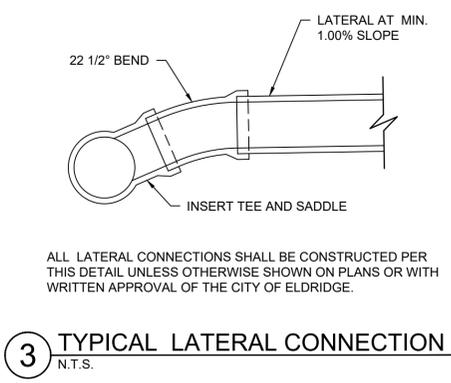
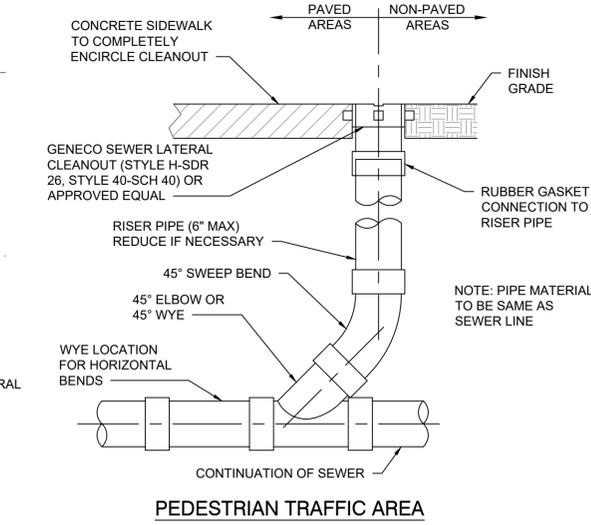
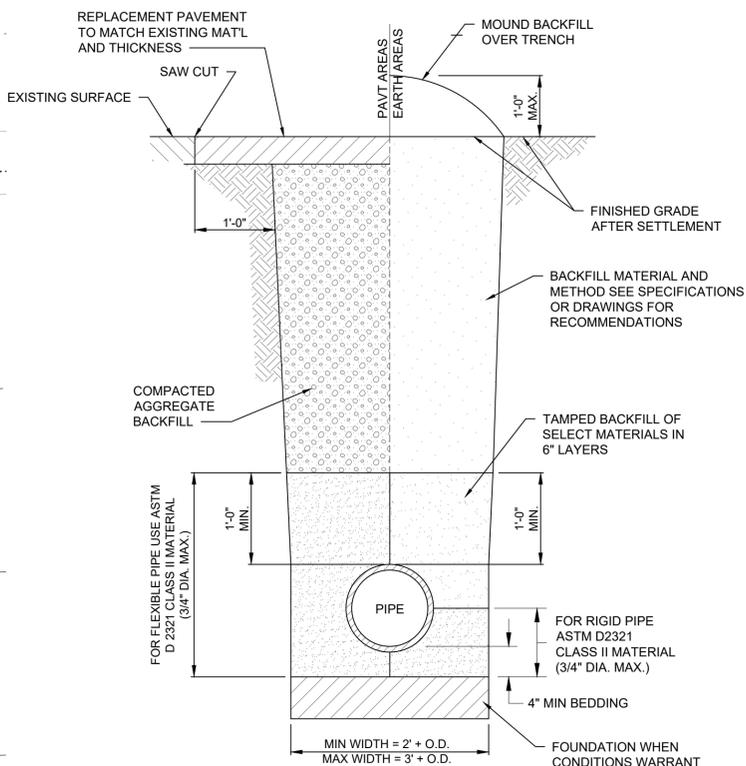
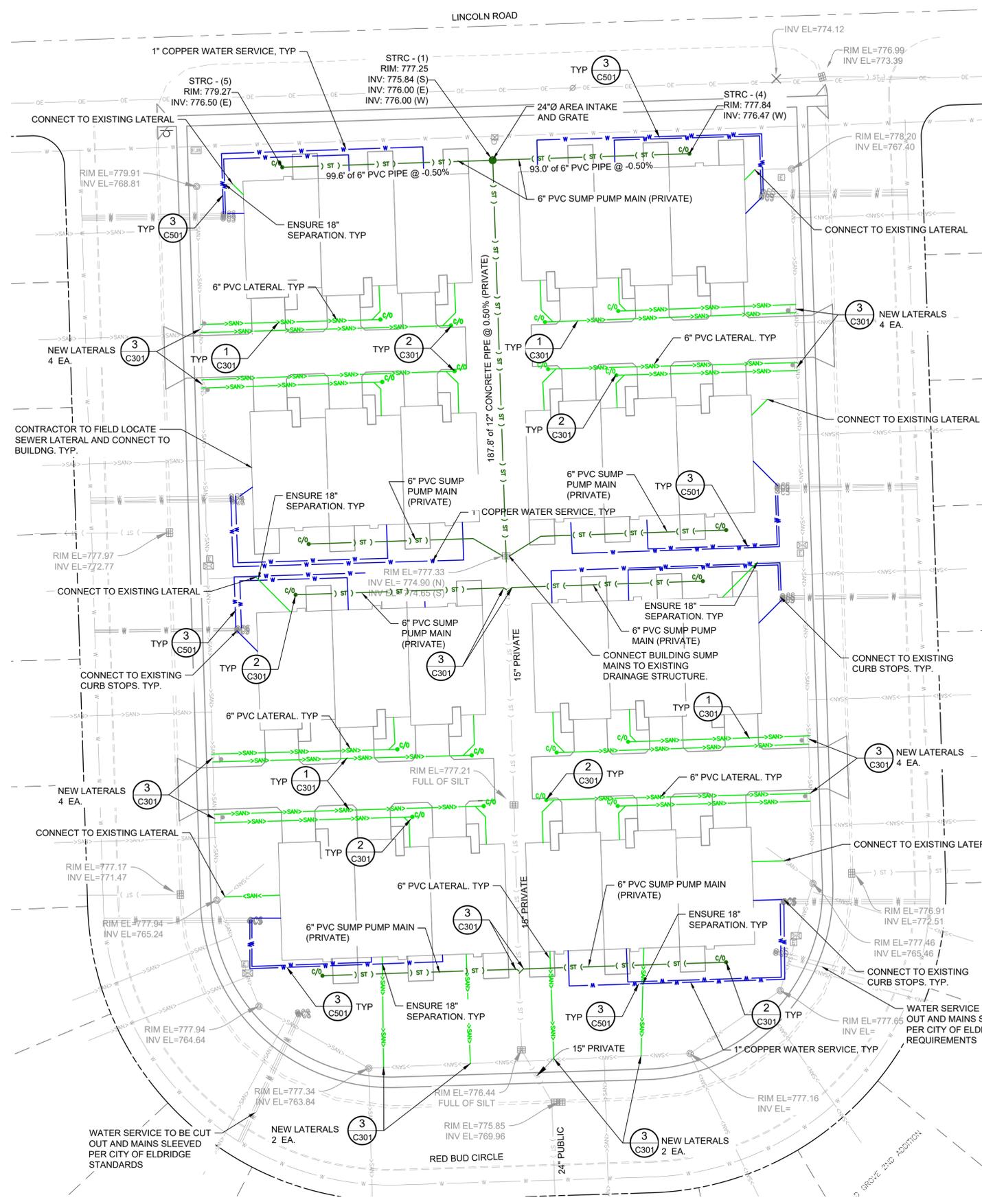
**PRELIMINARY
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 MULTI-FAMILY DEVELOPMENT
 GRUNWALD DEVELOPMENT L.C.
 409 SOUTH SHULTZ DRIVE
 LONG GROVE, IOWA 52756**

Non-Reduced Sheet Size: 22" x 34"
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DESIGNED DDR	DRAWN DDR
FIELD DAM/ASR	FIELD BOOK TK1/14-15
CHECKED CSW	CHECK DATE 02/14/2025

SHEET TITLE	
SOUTH SITE GRADING PLAN	
PROJECT NO. 21-6118	DRAWING ISSUED DATE: 02/14/2025
SHEET	
C202	



- BENCHMARKS:**
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GRUNWALD DEVELOPMENT L.C.
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LONG GROVE, IOWA 52756**

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FIELD DAM/ASR	FIELD BOOK TK/14-15
CHECKED CSW	CHECK DATE 02/14/2025
SHEET TITLE	

SITE UTILITY PLAN	
PROJECT NO. 21-6118	SHEET
DRAWING ISSUED DATE: 02/14/2025	C301

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GRUNWALD DEVELOPMENT L.C.
409 SOUTH SHULTZ DRIVE
LONG GROVE, IOWA 52756**

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FIELD DAM/ASR	FIELD BOOK TK/14-15
CHECKED CSW	CHECK DATE 02/14/2025

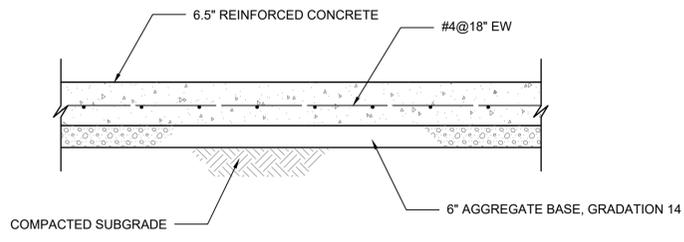
SHEET TITLE

SITE DETAILS

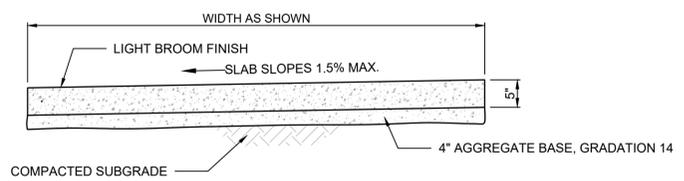
PROJECT NO.
21-6118

DRAWING ISSUED DATE:
02/14/2025

SHEET
C501

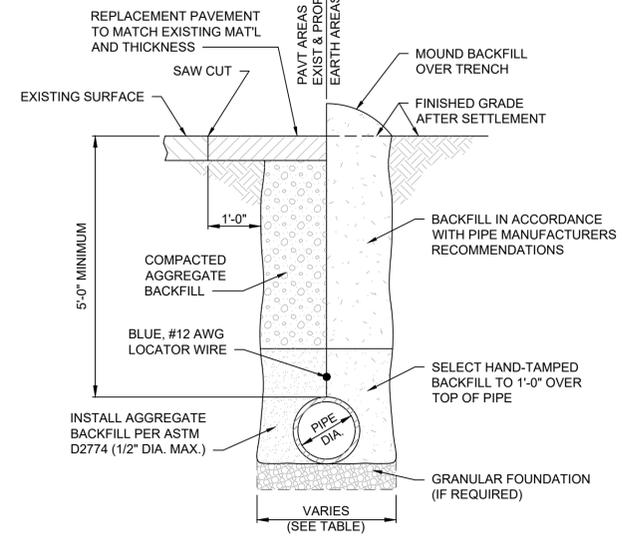


1 CONCRETE PAVING DETAIL
N.T.S.



NOTES:
 ALL SIDEWALK JOINTS SHALL BE TOOLED OR EDGED, MAX. SPACING = WIDTH OF SIDEWALK.
 1/2" EXP. JTS. W/ POLYURETHANE SEALER AT MAX. 50' INTERVALS.
 SEE PLAN FOR SIDEWALK WIDTH.
 MAXIMUM LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.

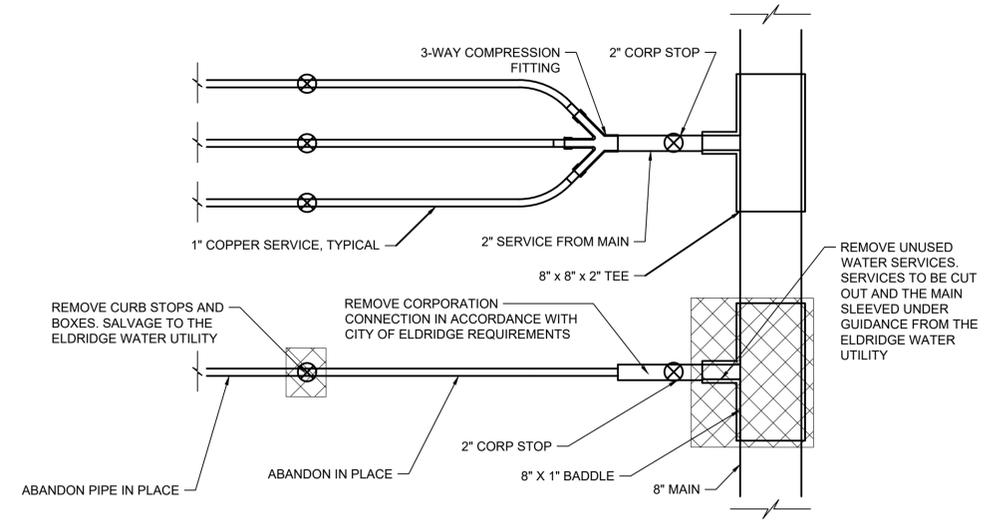
2 TYPICAL SIDEWALK
N.T.S.



TRENCH WIDTHS

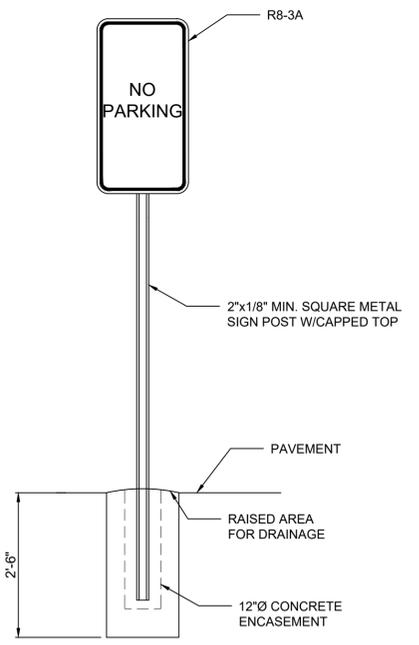
PIPE DIA.	MAXIMUM	MINIMUM
2"	26"	10"
4"	28"	12"
6"	30"	14"
8"	32"	16"
10"	34"	18"
12"	36"	20"
24"	56"	32"

3 WATER PIPE INSTALLATION
N.T.S.



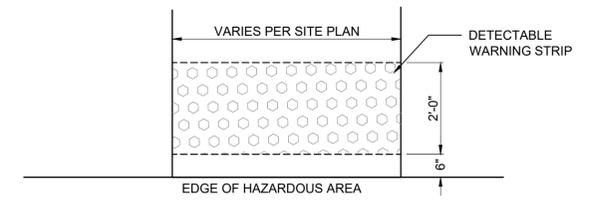
4 MULTI-FAMILY WATER SERVICE DETAIL
N.T.S.

NOTE: ALL MATERIALS AND SERVICE CONFIGURATIONS TO BE IN ACCORDANCE WITH CITY OF ELDRIDGE REQUIREMENTS AND STANDARDS.



NOTE:
 SIGN DIMENSIONS AND COLORS IN ACCORDANCE WITH MUTCD CURRENT ADDITION

5 NO PARKING SIGN
N.T.S.



DETECTABLE WARNING STRIP SPECIFICATIONS: DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF 0.9 IN. (NOMINAL), A HEIGHT OF 0.2 IN. (NOMINAL) AND A CENTER-TO-CENTER SPACING OF 2.35 IN. (NOMINAL) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES- WARNING STRIP TO BE RED.

DETECTABLE WARNING SHALL BE "CAST IRON" EAST JORDAN IRON WORKS "DURALAST" DETECTABLE WARNING PLATE POWDER COATED BRICK RED, OR EQUAL.

6 DETECTABLE WARNING STRIP
N.T.S.