

BOARD OF ADJUSTMENT MEETING AGENDA
Monday September 19, 2022 5:30 PM
Eldridge City Hall 305 N 3rd Street

1. Call to Order
2. Consideration of Approval of Previous Meeting Minutes
3. Public Hearing
Variance Request – Setbacks in Townsend Farms 13th
4. Consideration of Recommending Approval
5. Adjournment



**Eldridge Board of Adjustment
August 15th, 2022 Eldridge City Hall 5:00pm**

Minutes

The Eldridge Board of Adjustment meeting was called to order by Karl Donaubaauer at 5:00 p.m. at Eldridge City Hall on August 15, 2022. Board members present were Karl Donaubaauer, Dean Ferguson, Bob Kuehl, and Paul Hayungs. Absent was Karl Gruenhagen. Also present was Tony Rupe, Bruce Cheek, and Don Stabenow.

The minutes from July 7, 2022 were presented. A motion was made by Kuehl to approve the minutes, seconded by Hayungs. Motion passed 4-0 by voice vote.

Karl Donaubaauer reviewed the ground rules of the public hearing process.

Consideration of a Use on Review for a home-based business for Don Stabenow at 151 W Harvest Street.. Tony Rupe gave an overview of the request. Mr Stabenow would like to operate Design Services from his home. Mr Stabenow expects minimal traffic throughout the year.

Public Hearing opened at 5:04 pm
No public comments
Public Hearing closed at 5:05 pm

The Board discussed the proposal. Board discussion saw no opposition to the request. Hayungs made a motion to approve the use on review request. Second by Ferguson. Roll call shows all Ayes. Motion passes 4-0.

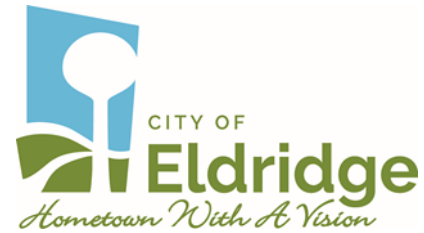
Motion to adjourn by Hayungs at 5:07 pm. Second by Ferguson. Motion passed 4-0 by voice vote.

Board of Adjustment
Karl Donaubaauer
Dean Ferguson

Eric Gruenhagen
Paul Hayungs
Bob Kuehl

City Council
Frank King
Bruce Cheek

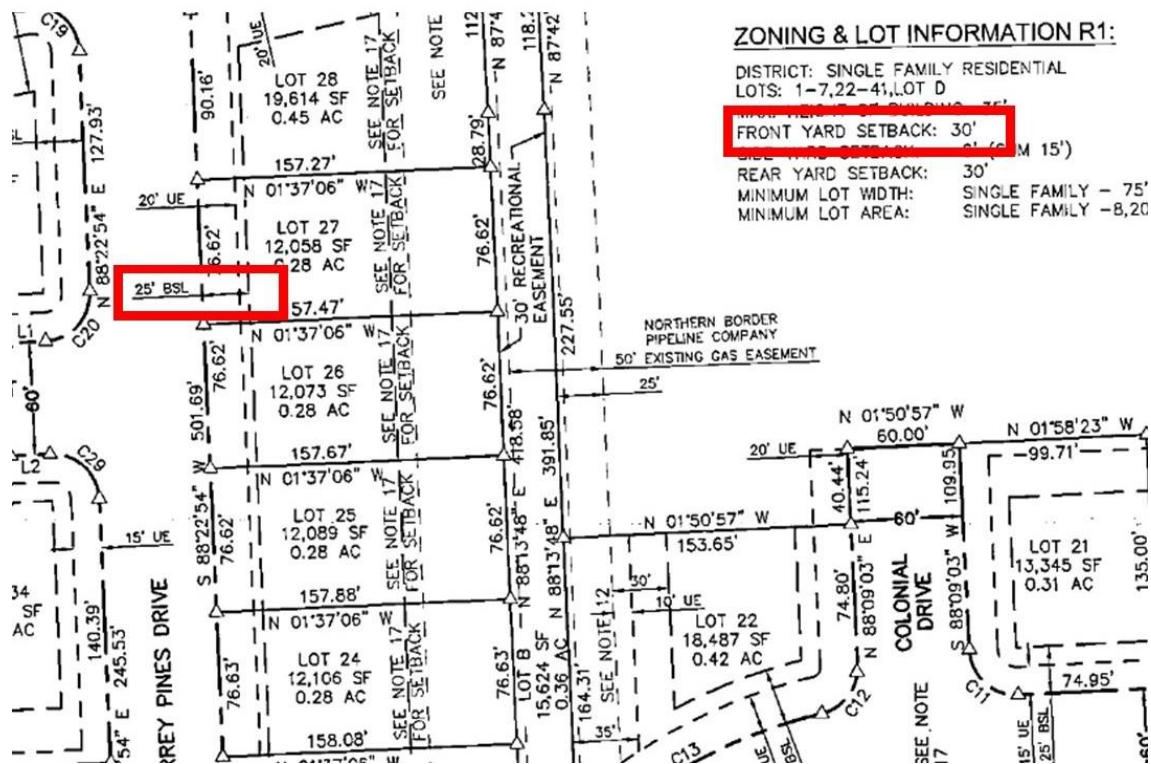
City of Eldridge MEMORANDIUM



To: Board of Adjustment
 From: Tony Rupe, City Administrator
 Re: Setback in Townsend Farms 13th Subdivision
 Date: 9/2/22

Board of Adjustments

It has come to our attention that the approved Final Plat for Townsend Farms 13th has an error on it. The area is an R-1 zoning district, which requires a 30' front yard setback. The signed plat shows the zoning information as R-1 and correctly identifies the Setback as 30', however the dimension drawing at the lot shows the Building Setback Line is 25'.



It appears that our staff at some point caught this error as I found a copy of the plat that is dated after this one with the correct dimension shown as 30' at both places. Regardless, the signed plat is official and the one we have to work with.

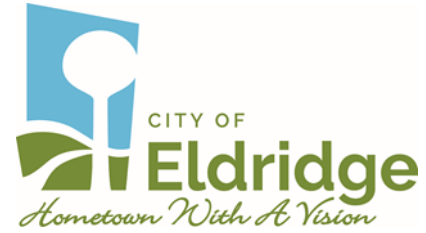
There are several lots that have been built on in this subdivision, and they were all built at the 30' setback. However, one new foundation on Lot 24 has gone in using the 25' setback. The variance request is to allow all of the homes on this block (Lots 23-28) use the 25' setback to keep uniformity.

Karl Donaubaauer
 Bob Kuehl

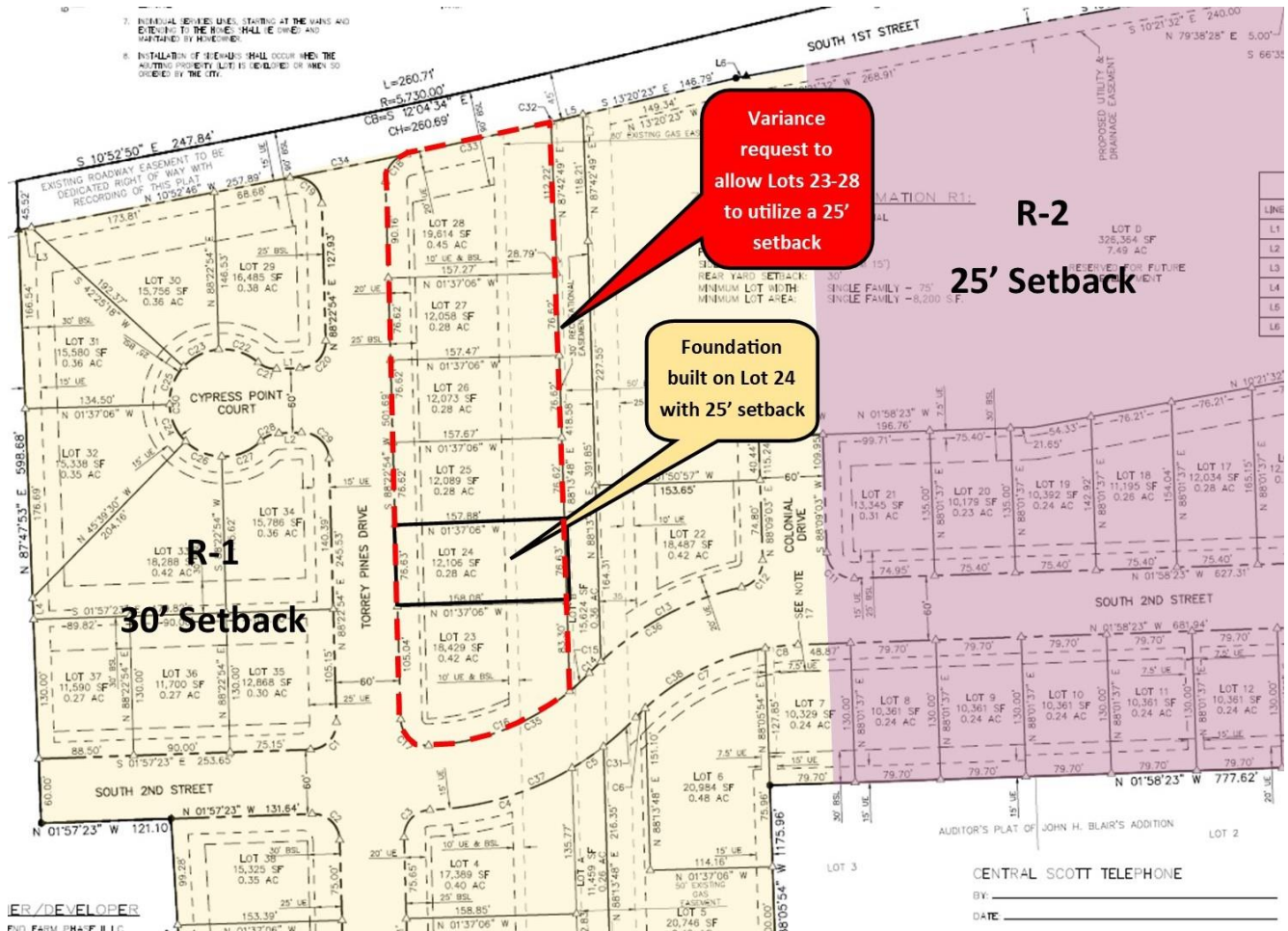
Dean Ferguson
 Eric Gruenhagen

Paul Hayungs

City of Eldridge MEMORANDIUM



The remainder of the R-1 district will utilize the 30' setback. If approved, a revised final plat will be produced reflecting the changes. The homes around the corner are in an R-2 district which already uses a 25' setback. None of the other lots in this request (23, 25, 26, 27 or 28) have been built on yet.



Board of Adjustment Application - City of Eldridge

Property Address: 101, 107, 113, 119, 125 AND 131 W Torrey Pines Dr

Type of Request: Variance; XX

Specific Action Requested: 5' VZ from 30' required front yard setback in an R1 zoning district

Legal description of the property: Lots 23, 24, 25, 26, 27 and 28, Townsend Farms 13th Addition

For a variance to be granted, a non-self-imposed hardship must be shown. Explain your hardship: The front yard setbacks on the recorded plats are incorrectly shown as 25'. The 1st foundation has been constructed to the setback shown on the plat through no fault of the developer or builder. The City of Eldridge review staff requests that the lots in this section of the addition be allowed to be built with a 25' setback to maintain uniformity of the front yard setbacks and will require a corrected plat. This VZ request does NOT affect other portions of the addition.

Applicant's Name: The City of Eldridge

Address: 305 N 3rd Street Eldridge Iowa, 52748

Phone Number: 563-285-4841

Email Address: inspector@cityofeldridgeia.org

Applicant's interest in this property:

Other: City Jurisdiction

Signature of Applicant(s) Raymond D Nees

Title Holder's name (if different from applicant) Kevin Oetzmann

Address: 618 West Main Street, Long grove Iowa, 52756

Phone Number: 563-529-5710

Signature of title holder (Kevin Oetzmann)

I (we), the undersigned title holder of the above described property, do hereby consent to having this application submitted:

Kevin Oetzmann

Title Holder's name (if different from applicant) Mel Foster/ Ryan Fick

Address: 3211 E 35th St Ct, Davenport Iowa, 52807

Phone Number: 563-508-0224

Signature of title holder (Ryan Fick)

I (we), the undersigned title holder of the above described property, do hereby consent to having this application submitted:
