

## **SPECIAL CITY COUNCIL MEETING AGENDA**

**Monday, October 24, 2022**

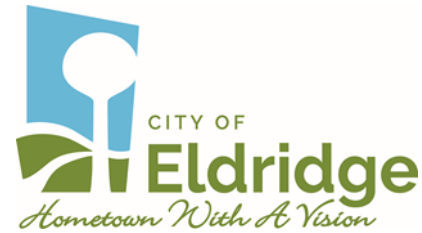
**5:30 pm**

**Eldridge City Hall      305 N 3<sup>rd</sup> Street**

1. Call to Order and Roll Call
2. Closed Session
  - A. A. Consideration of closed session pursuant to Iowa Code 21.5(1) c “To discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.”
  - B. Consideration of closed session pursuant to Iowa Code 21.5(1) j “To discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property.”
3. Consideration of Resolution 2022-37 Approving Final Plat for Diamond Builders Addition
4. Consideration of Possible Action as a Result of the Closed Session
5. Adjournment

# City of Eldridge

## MEMORANDIUM



To: Mayor and Council  
From: Tony Rupe, City Administrator  
Re: Diamond Builders Addition  
Date: 10/20/22

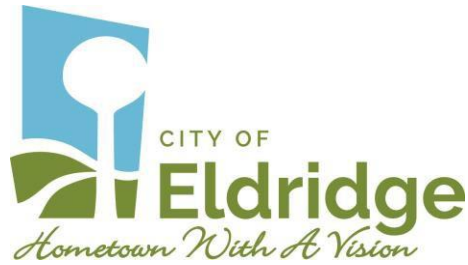
Mayor and City Council

The Eldridge Plan and Zone Commission met on October 12, 2022, to consider a Final Plat for Diamond Builders Addition. Diamond Builders Addition is across the street from The Vault Coffee Shop on West Davenport Street. The lot is properly zoned for the new condo building that was built there. The Final Plat is splitting the single lot into two lots. The Plan and Zone Commission is recommending approval of the Final Plat.

Mayor Frank King  
Councilman Adrian Blackwell

Councilman Bruce Cheek  
Councilman Daniel Collins

Councilman Bernie Peeters  
Councilman Brian Dockery



To: Plan & Zone Commission  
From: Tony Rupe, City Administrator  
Re: Meeting Minutes  
Date: 2022-10-12

The Eldridge Plan and Zone Commission met in open session at Eldridge City Hall at 5:30 p.m. on October 12, 2022. Present were Karl Donaubaauer, Tisha Boussetot, Brad Merrick, Duane Miller, Mike Martin and Nancy Gruber. Absent was Terry Harbour. Also present were Tony Rupe, Bruce Cheek and Jeff Martens.

The minutes from the 8/30/22 meeting was presented for approval. Motion by Miller to approve the minutes. Second by Gruber. Motion approved 6-0 by unanimous voice vote.

Consideration of approval of Final Plat for Diamond Builders Addition. Rupe presented an overview and staff recommendation of approval. The parcel is zoned properly for the building. Motion by Martin to approve Final Plat of Diamond Builders Addition. Second by Boussetot. Motion approved 6-0 by unanimous voice vote.

Motion by Martin to adjourn the meeting. Second by Boussetot. Motion approved by unanimous voice vote. Meeting adjourned at 5:39 p.m.

Respectfully submitted,

Tony Rupe, City Administrator

Karl Donaubaauer  
Tisha Boussetot  
Terry Harbour

Mike Martin  
Nancy Gruber

Brad Merrick  
Duane Miller

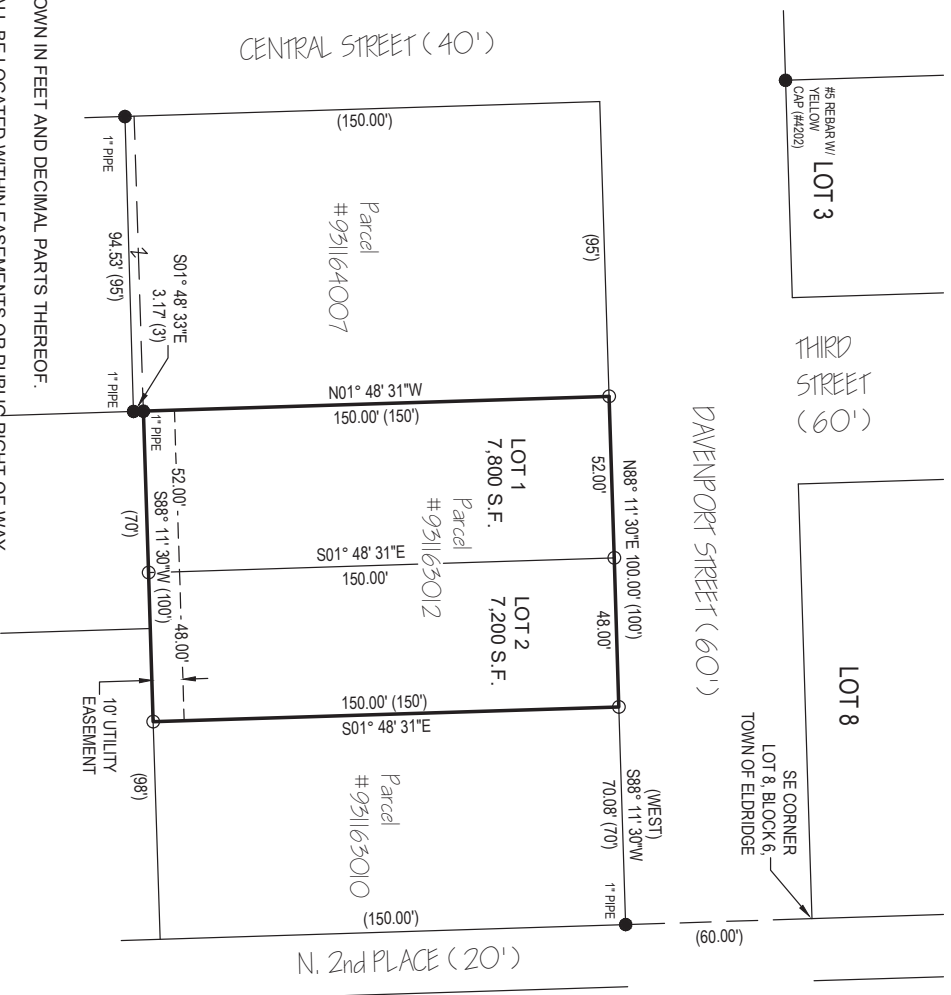
FINAL PLOT:

# DIAMOND BUILDER'S ADDITION

TO THE CITY OF ELDRIDGE, IOWA, LOCATED IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 79 NORTH, RANGE 3 EAST OF THE FIFTH P.M., SCOTT COUNTY, IOWA

- Area of Subdivision-  
Total: 15,00 S.F. +/-
- Owner:  
Diamond Builders  
of Davenport, LLC  
14358 275th Street  
Long Grove, IA
- Attorney:  
John Carroll  
201 W 2nd St., Suite 801  
Davenport, Iowa 52801  
Ph: (563) 326-1008
- Surveyor:  
Michael D. Richmond  
2224 East River Drive  
Davenport, Iowa 52802  
Ph: (563) 386-4236

**BUILDING SETBACKS:**  
25' = FRONT  
5' = SIDE  
30' = REAR  
  
SIDE YARD SETBACK ONLY  
APPLIES TO THE WEST  
SIDE OF LOT 1 AND THE  
EAST SIDE OF LOT 2.



**NOTES:**

- MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.
- COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.
- THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.
- BLANKET UNDERGROUND EASEMENTS FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.
- THE SUBJECT PROPERTY IS ZONED R-2, TWO FAMILY RESIDENTIAL DISTRICT.

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CITY OF ELDRIDGE, IOWA

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CITY PLAN & ZONE COMMISSION

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 MIDADAMERICAN ENERGY  
 APPROVED SUBJECT TO ENCUMBRANCES  
 OF RECORD BY MIDADAMERICAN

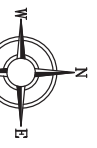
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CITY OF ELDRIDGE  
 ELECTRIC & WATER UTILITIES

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CENTRAL SCOTT  
 TELEPHONE CO.

THE MEASURED BEARINGS SHOWN HEREOF ARE BASED ON THE US STATE PLANE COORDINATE SYSTEM, IOWA SOUTH ZONE (1402) GEOID 12A, NAD 83 (2011) EPOCH 2010.00.

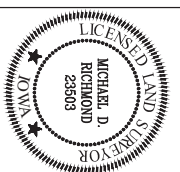
**LEGEND:**

- DEED DIMENSION = (0.00')  
 FIELD DIMENSION = 0.00'  
 MONUMENTS FOUND:  
 AS NOTED = ●  
 MONUMENTS SET:  
 #5 REBAR W/ YELLOW CAP #23503 = ○  
 BOUNDARY LINE = ————  
 FENCE LINE = \* \* \* \* \*  
 EASEMENT LINE = - - - - -  
 SETBACK LINE = - - - - -  
 SECTION LINE = - - - - -



1" = 40' (11x17')

MEDIACOM \_\_\_\_\_ DATE: \_\_\_\_\_



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed land surveyor under the laws of the State of Iowa.

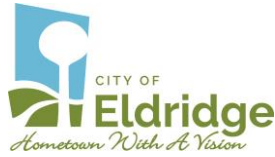
MICHAEL D. RICHMOND  
 Iowa License Number: 23503  
 My license renewal date is December 31, 2023  
 Pages or sheets covered by this seal: 1



DATE:	10/3/2022
REVISIONS:	
NO.	DESCRIPTION
1	FINAL PLAT
2	DIAMOND BUILDERS
3	ADDITION
4	LONG GROVE, IOWA

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REVISIONS:	
NO.	DESCRIPTION
1	FINAL PLAT
2	DIAMOND BUILDERS
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4	LONG GROVE, IOWA

PROJECT:	DIAMOND BUILDERS OF DAVENPORT
DEVELOPER:	DIAMOND BUILDERS OF DAVENPORT
SHEET NO.:	1
OF:	1



# RESOLUTION 2022-37

## A Resolution Approving Final Plat of Diamond Builders Addition

WHEREAS, the final plat for Diamond Builders Addition has been submitted by Diamond Builders of Davenport, owner of the property, and

WHEREAS, the final plat has been found to be substantially in accord with the platting requirements of the City of Eldridge and has been approved by the Eldridge Planning and Zoning Commission on October 12, 2022, now therefore

BE IT RESOLVED that the City Council of the City of Eldridge hereby approves the final plat for Diamond Builders Addition.

PASSED AND APPROVED THIS 24TH DAY OF OCTOBER, 2022.

Attest:

\_\_\_\_\_  
Mayor, Frank King

\_\_\_\_\_  
City Administrator, Tony Rupe

Blackwell	<input type="checkbox"/> Yea / <input type="checkbox"/> Nay
Cheek	<input type="checkbox"/> Yea / <input type="checkbox"/> Nay
Collins	<input type="checkbox"/> Yea / <input type="checkbox"/> Nay
Dockery	<input type="checkbox"/> Yea / <input type="checkbox"/> Nay
Peeters	<input type="checkbox"/> Yea / <input type="checkbox"/> Nay